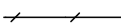


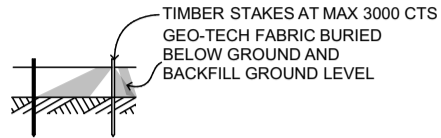


LEGEND

-  DENOTES SITE SEDIMENT AND EROSION FENCING
-  STOCK PILE AREA DENOTES ALLOCATED SITE STOCKPILE AREA
-  WASTE STORAGE AREA DENOTES ALLOCATED SITE WASTE STORAGE AREA



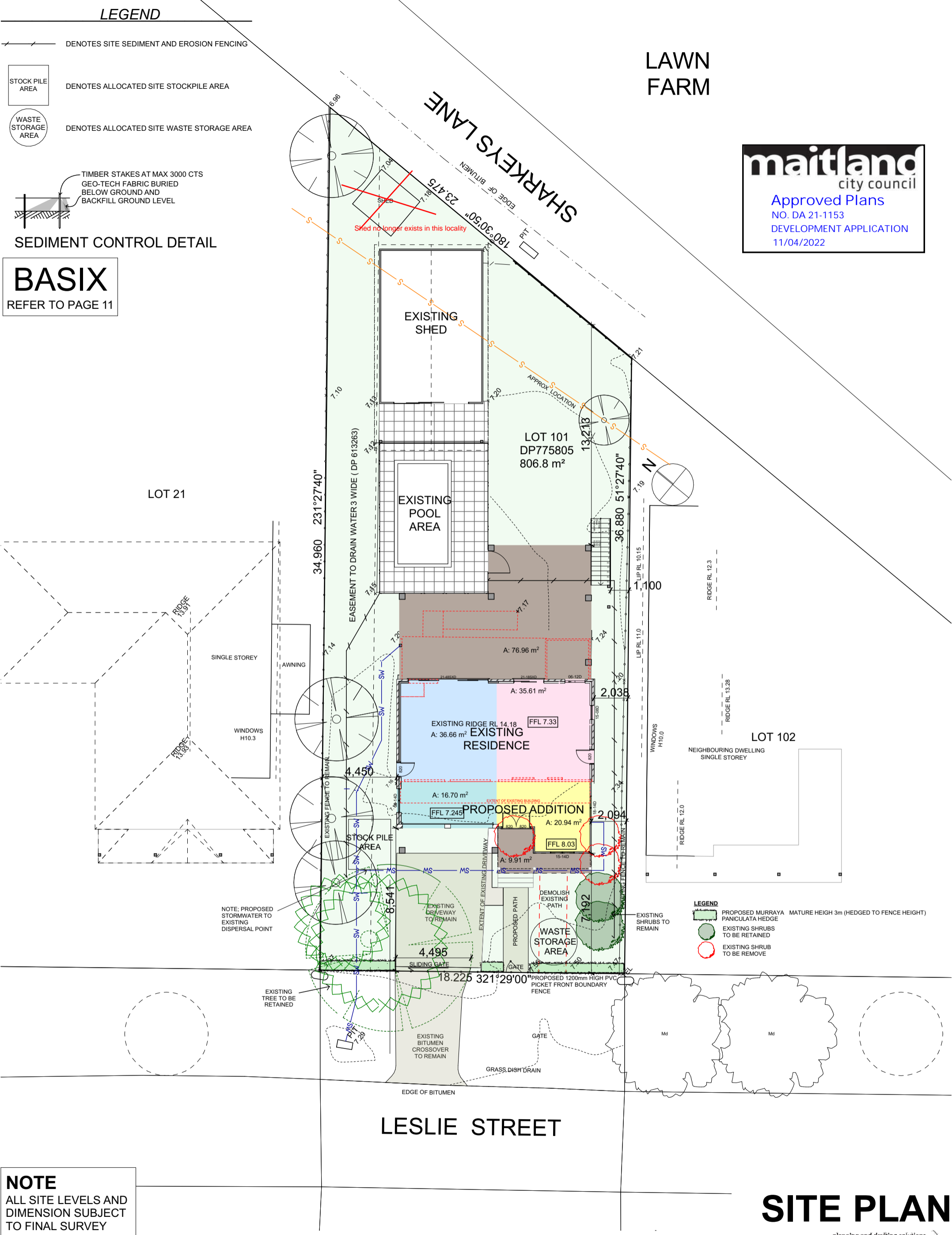
SEDIMENT CONTROL DETAIL

BASIX
REFER TO PAGE 11




LAWN FARM

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11/04/2022



NOTE: PROPOSED STORMWATER TO EXISTING DISPERSAL POINT

- LEGEND**
-  PROPOSED MURRAYA PANICULATA HEDGE
 -  EXISTING SHRUBS TO BE RETAINED
 -  EXISTING SHRUB TO BE REMOVE

NOTE
ALL SITE LEVELS AND DIMENSION SUBJECT TO FINAL SURVEY

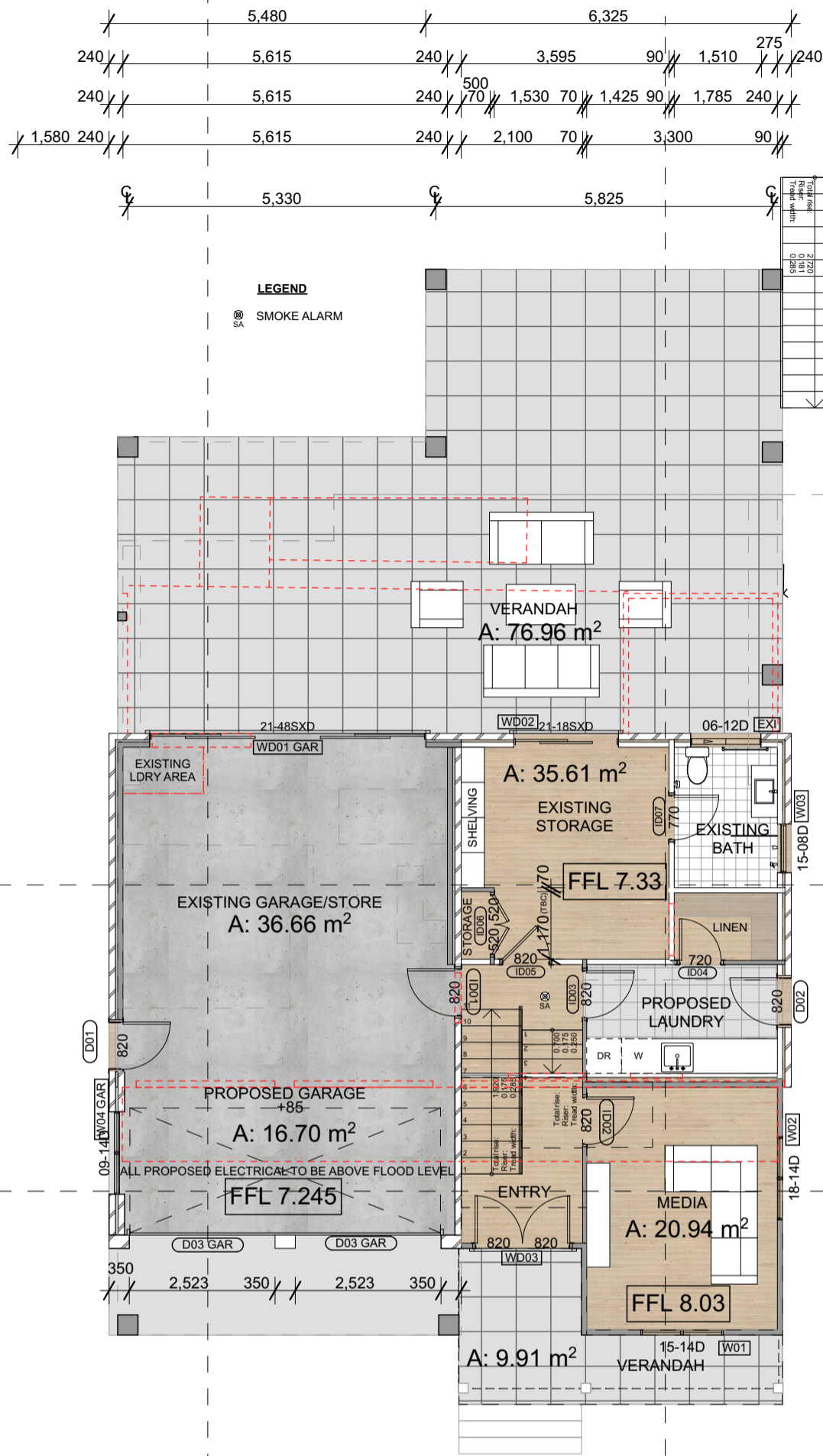
SITE PLAN

<p>Written dimensions to take preference over scale</p> <p>PO Box 188, Cessnock NSW 2325 P 02 4991 1855 F 02 4991 1850 info@sheerdesigns.com.au www.sheerdesigns.com.au ACN 151 574 686 ABN 84 151 574 686</p>	<p>DATE</p> <p>27.07.21</p> <p>16.08.21</p> <p>30.08.21</p> <p>03.11.21</p> <p>30.11.21</p> <p>15.02.22</p> <p>18.02.22</p> <p>25.02.22</p> <p>03.03.22</p> <p>28.03.22</p>	<p>ISSUE</p> <p>C</p> <p>D</p> <p>E</p> <p>F</p> <p>G</p> <p>H</p> <p>I</p> <p>J</p> <p>K</p> <p>L</p>	<p>ISSUED FOR</p> <p>AMENDED CONCEPT</p> <p>ADD WINDOWS</p> <p>COUNCIL ISSUE</p> <p>AMENDMENTS</p> <p>ADDITIONAL AMENDMENTS</p> <p>REDESIGN</p> <p>REVISED COUNCIL ISSUE</p> <p>ADDITIONAL INFORMATION</p> <p>REVISED DA</p> <p>REVISE GARAGE DOOR</p>	<p>DRAWN</p> <p>KS</p> <p>KS</p> <p>KS</p> <p>KS</p> <p>KS</p> <p>KS</p> <p>KS</p> <p>KS</p> <p>KS</p> <p>KS</p>	<p>Lot 101 #12 Leslie Street, Lorn DP 775805</p> <p>CLIENT: Mr. & Mrs. Ryan</p>	<p>planning and drafting solutions</p> <p>SCALE: 1:200, 1:250, 1:100</p> <p>DATE: 29/03/2022</p> <p>DRAWN: Karen</p> <p>SHEET No: 3 OF 14</p> <p>JOB NUMBER</p>	<p>sheer designs</p>
	<p>BSA Association of Building Inability Assessors</p> <p>senSmart PROFESSIONAL</p>	<p>SD12LES</p>		<p>S:\Clients\2021\SD12LES\SD12LES_20220204.pln</p>			

EXISTING WALLS

PROPOSED WALLS

WALLS TO BE REMOVED



NOTE - ALL DIMENSIONS TO BE CONFIRMED (TBC) ONSITE PRIOR TO ORDERING MATERIALS
 LOH- LIFT OFF HINGES TO BATHROOM & W.C.

FLOOR AREAS

	Area (sqm)
EXISTING UPPER FLOOR	125.89
ADDITION VERANDAH	76.96
ADDITION UPPER FLOOR	37.32
EXISTING GARAGE/STORE	36.66
EXISTING FLOOR AREA	35.61
EXISTING DECK	34.06
ADDITION LOWER FLOOR	20.94
PROPOSED GARAGE ADDITION	16.70
ADDITION VERANDAH	9.91
TOTAL	394.05 m²

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 NO. DA 21-1153
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FLOOR PLAN

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DATE	ISSUE	ISSUED FOR	DRAWN
27.07.21	C	AMENDED CONCEPT	KS
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30.08.21	E	COUNCIL ISSUE	KS
03.11.21	F	AMENDMENTS	KS
30.11.21	G	ADDITIONAL AMENDMENTS	KS
15.02.22	H	REDESIGN	KS
18.02.22	I	REVISED COUNCIL ISSUE	KS
25.02.22	J	ADDITIONAL INFORMATION	KS
03.03.22	K	REVISED DA	KS
28.03.22	L	REVISE GARAGE DOOR	KS

Lot 101 #12 Leslie Street,
Lorn DP 775805

CLIENT: Mr. & Mrs. Ryan

SCALE: 1:1, 1:100
 DATE: 29/03/2022
 DRAWN: Karen
 SHEET No: 5 OF 14
 JOB NUMBER
SD12LES

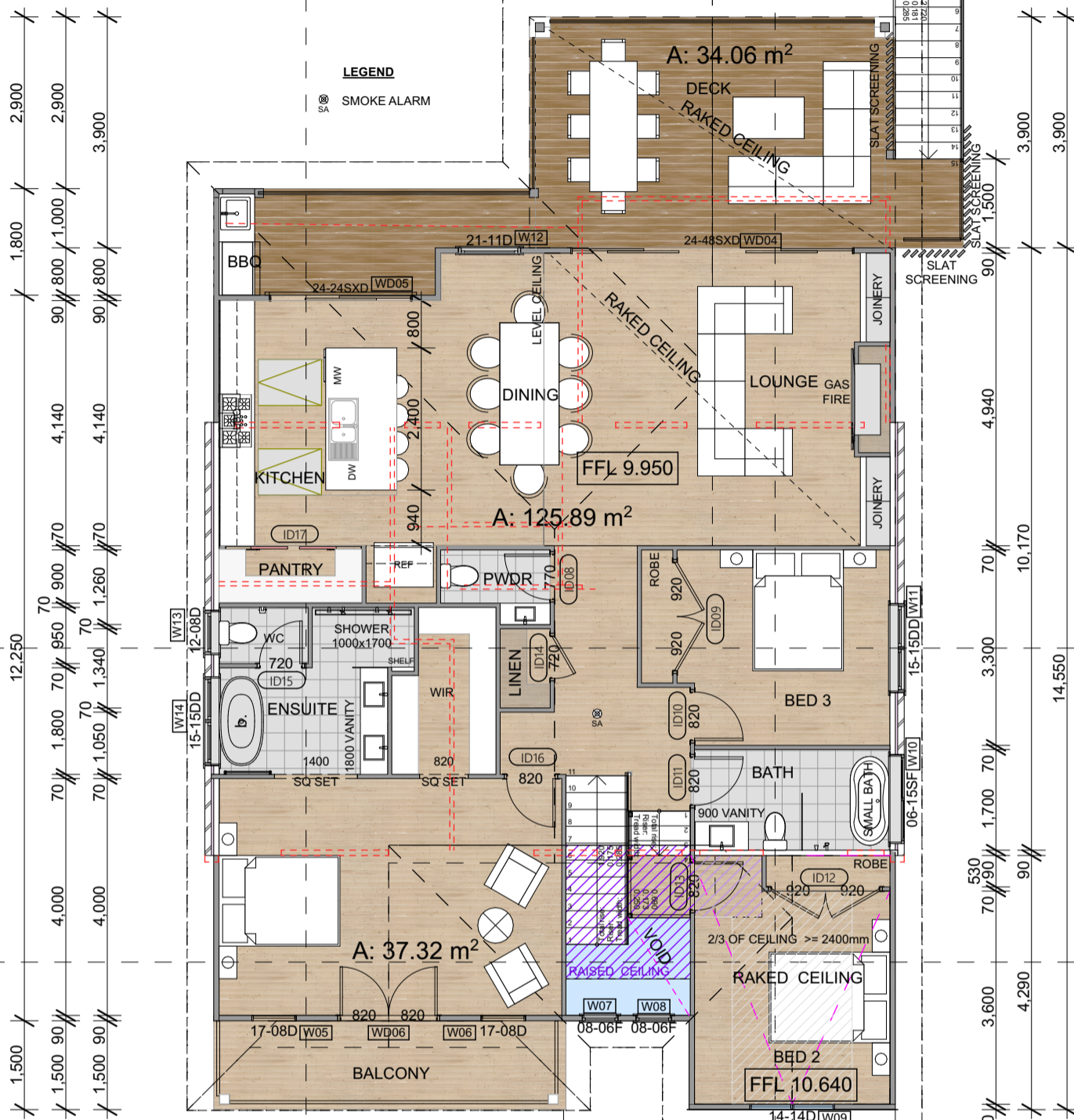
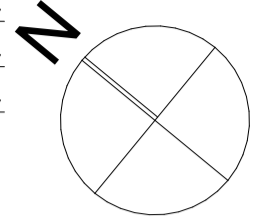
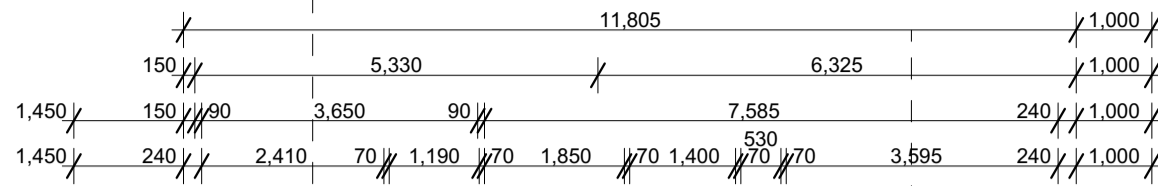
sheer designs

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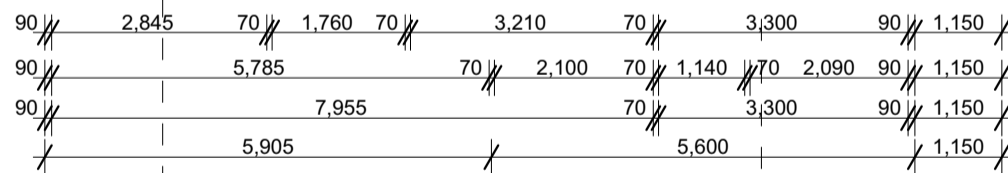
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PROPOSED WALLS

WALLS TO BE REMOVED



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Approved Plans
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FIRST FLOOR PLAN

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18.02.22	I	REVISED COUNCIL ISSUE	KS
25.02.22	J	ADDITIONAL INFORMATION	KS
03.03.22	K	REVISED DA	KS
28.03.22	L	REVISE GARAGE DOOR	KS

Lot 101 #12 Leslie Street,
Lorn DP 775805

CLIENT: Mr. & Mrs. Ryan

SCALE: 1:1, 1:100

DATE: 29/03/2022

DRAWN: Karen

SHEET No:

6 OF 14

JOB NUMBER

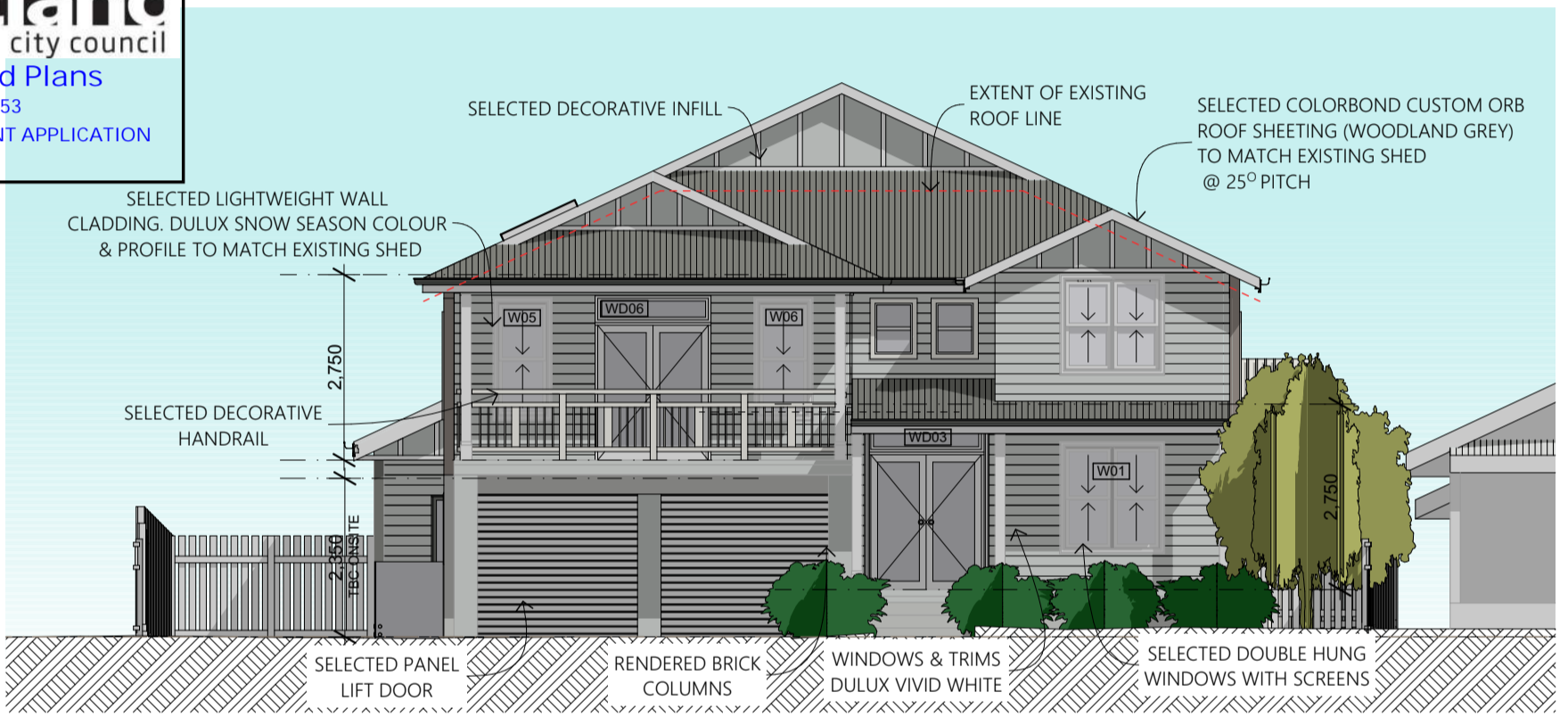
SD12LES





Front Perspective

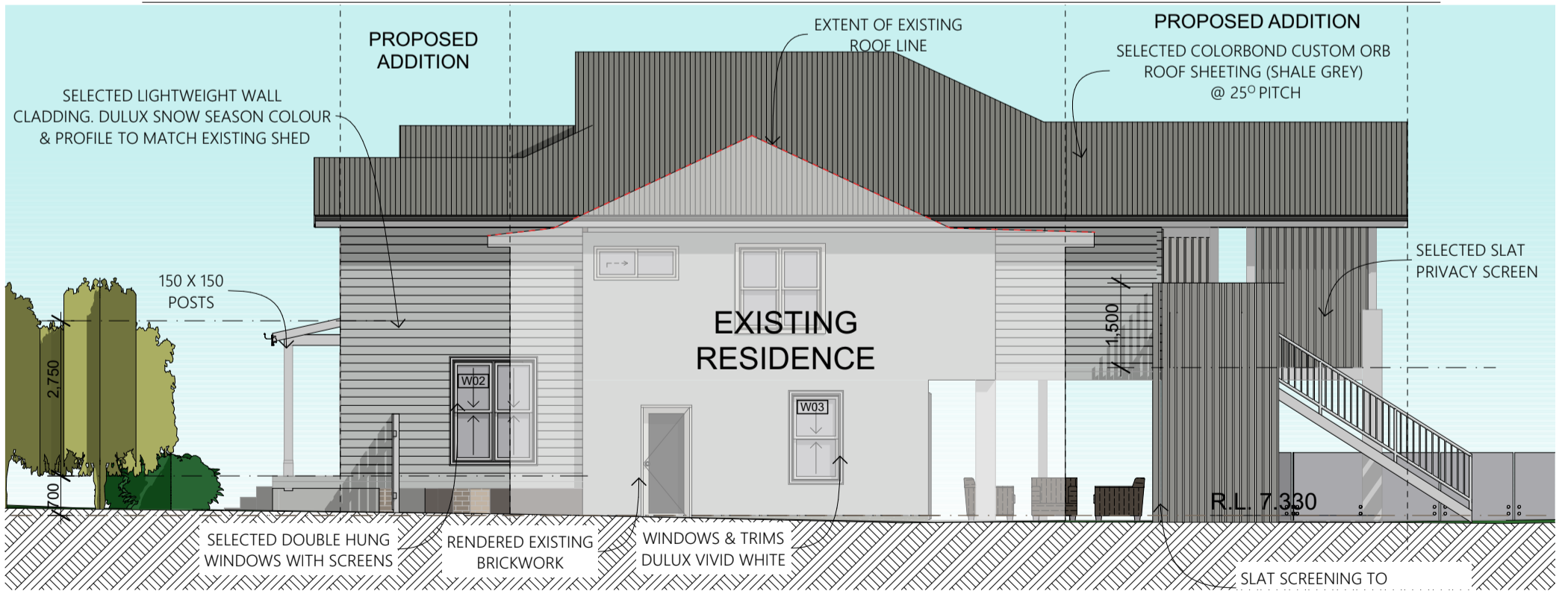
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NO. DA 21-1153
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FRONT

ELEVATION

1:100



SIDE

ELEVATION

1:100

ELEVATIONS I

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Lot 101 #12 Leslie Street,
Lorn DP 775805

CLIENT: Mr. & Mrs. Ryan

SCALE: 1:100, 1:28.57

DATE: 29/03/2022

DRAWN: Karen

SHEET No:

7 OF 14

JOB NUMBER

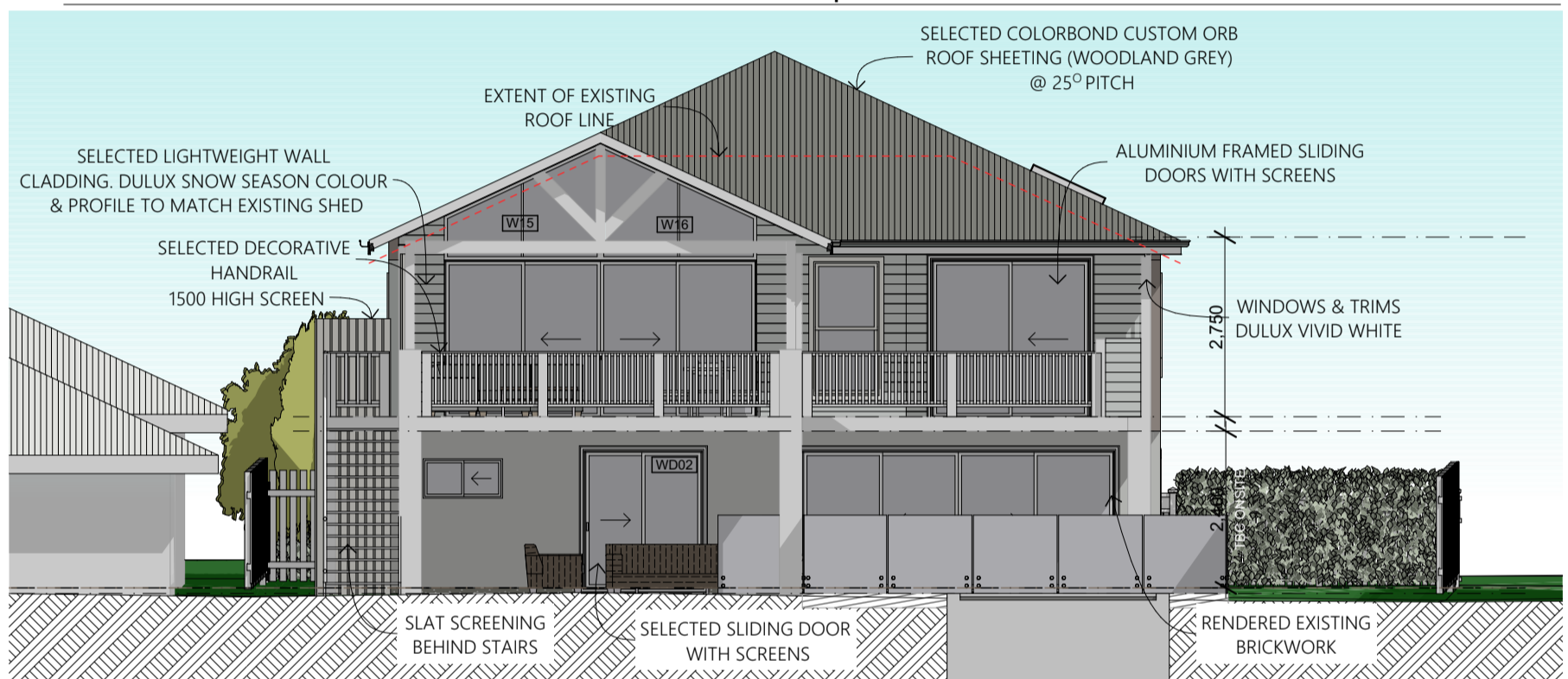
SD12LES





Rear Perspective

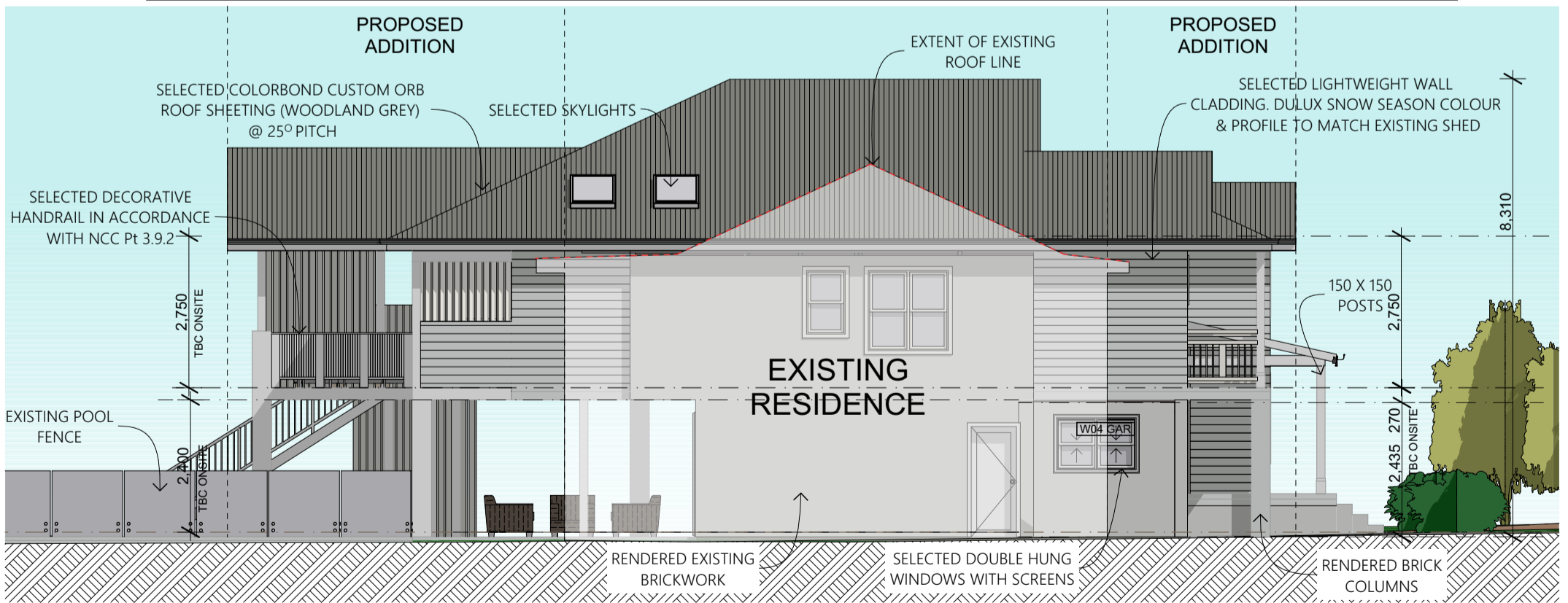
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REAR

ELEVATION

1:100



SIDE OTHER

ELEVATION

1:100

ELEVATIONS II

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Lot 101 #12 Leslie Street,
Lorn DP 775805

CLIENT: Mr. & Mrs. Ryan

SCALE: 1:100, 1:28.57

DATE: 29/03/2022

DRAWN: Karen

SHEET No: 8 OF 14

JOB NUMBER

SD12LES



BASIX Commitments Summary

Certificate No A431061_03

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments

FIXTURES must be installed to a minimum rating of:

Showerhead	3 STARS	Toilet flushing system	3 STARS
Kitchen taps	3 STARS	Basin taps	3 STARS

Thermal Comfort Commitments

Floor, walls and ceiling/roof must be installed in accordance with the specifications listed below:

	Construction	Insulation
Floor	concrete slab on ground suspended floor enclosed framed suspended floor over garage	nil R1.0 to underside of floor nil
External walls	framed (clad)	R1.5 plus permeable membrane
Internal walls shared with garage	masonry	nil
Ceiling	plasterboard	R3.0 ceiling batts
Roof	unventilated dark	foil/sarking

Windows, glazed doors and skylights must be installed in accordance with the specifications in BASIX certificate.

Artificial Lighting A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.

INTERNAL DOOR SCHEDULE

Type	ID	Width	Height	Location
	ID01	820	2,040	GARAGE
	ID02	820	2,040	MEDIA
	ID03	820	2,040	LAUNDRY
	ID04	720	2,040	LINEN
	ID05	820	2,040	STORAGE
	ID06	1,040	2,040	STORAGE
	ID07	770	2,040	EXISTING BATH
	ID08	770	2,040	PWDR
	ID09	1,840	2,040	BED 3 ROBE
	ID10	820	2,040	BED 3
	ID11	820	2,040	BATH
	ID12	1,840	2,070	BED 2 ROBE
	ID13	820	2,040	BED 2
	ID14	720	2,040	LINEN
	ID15	720	2,040	WC
	ID16	820	2,040	BED 1
	ID17	1,240	2,100	PANTRY

WINDOW SCHEDULE

ID	QTY	Height	Width	Glazing	Type	Area
W01	1	1,534	1,428	Glass - Clear	D	2.19
W02	1	1,800	1,428	Glass - Clear	D	2.57
W03	1	1,534	843	Glass - Clear	D	1.29
W04 GAR	1	933	1,428	Glass - Clear	D	1.33
W05	1	1,700	750	Glass - Clear	D	1.28
W06	1	1,700	750	Glass - Clear	D	1.28
W07	1	800	600	Glass - Clear	F	0.48
W08	1	800	600	Glass - Clear	F	0.48
W09	1	1,362	1,428	Glass - Clear	D	1.94
W10	1	600	1,500	Glass - Clear	SF	0.90
W11	1	1,500	1,500	Glass - Clear	DD	2.25
W12	1	2,100	1,050	Glass - Clear	D	2.21
W13	1	1,200	750	Glass - low-e	D	0.90
W14	1	1,500	1,500	Glass - low-e	DD	2.25
W15	1	1,779	2,390	Glass - Clear	F	4.25
W16	1	1,779	2,390	Glass - Clear	F	4.25
WD01 GAR	1	2,100	4,780	Glass - Clear	SXD	10.04
WD02	1	2,100	1,810	Glass - Clear	SXD	3.80
WD03	1	2,040	1,640	Glass - Clear	HINGED	3.35
WD04	1	2,400	4,780	Glass - Clear	SXD	11.47
WD05	1	2,400	2,410	Glass - Clear	SXD	5.78
WD06	1	2,040	1,640	Glass - Clear	SXD	3.35

22 Glass Clear - U-Value: 7.63 SHGC: 0.75
Glass Low e - U-Value: 5.70 SHGC: 0.47

SKYLIGHT SCHEDULE

ID	QTY	Dimension	Type	Code
SKY - 001	1	780x1,180	FIXED	M04
SKY - 002	1	780x1,180	FIXED	MO4
2				

DOOR SCHEDULE

ID	QTY	Height	Width
D01	1	2,040	820
D02	1	2,040	820
D03 GAR	2	2,200	2,523
4			



BASIX & SCHEDULES

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Lot 101 #12 Leslie Street,
Lorn DP 775805

CLIENT: Mr. & Mrs. Ryan

SCALE: 1:100, 1:1

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11 OF 14

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SD12LES





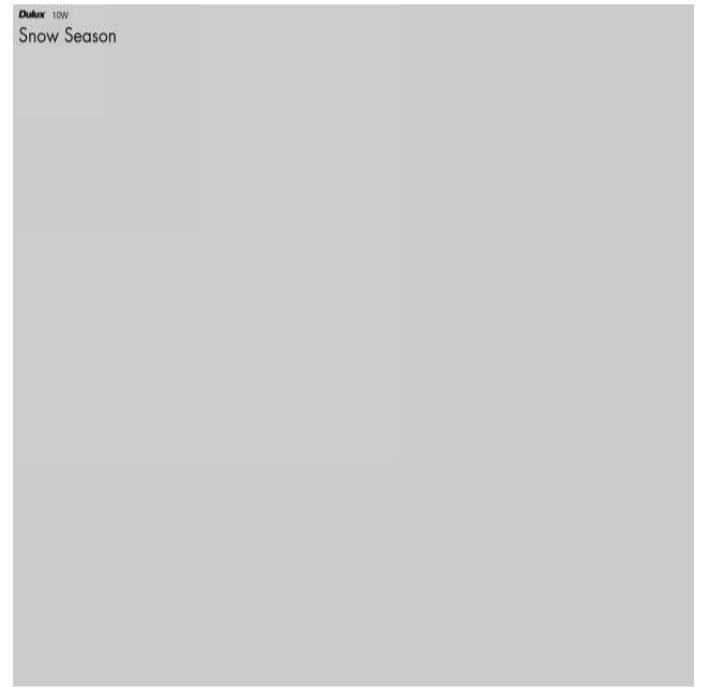
STREETSCAPE



ROOF & GUTTERING
WOODLAND GREY



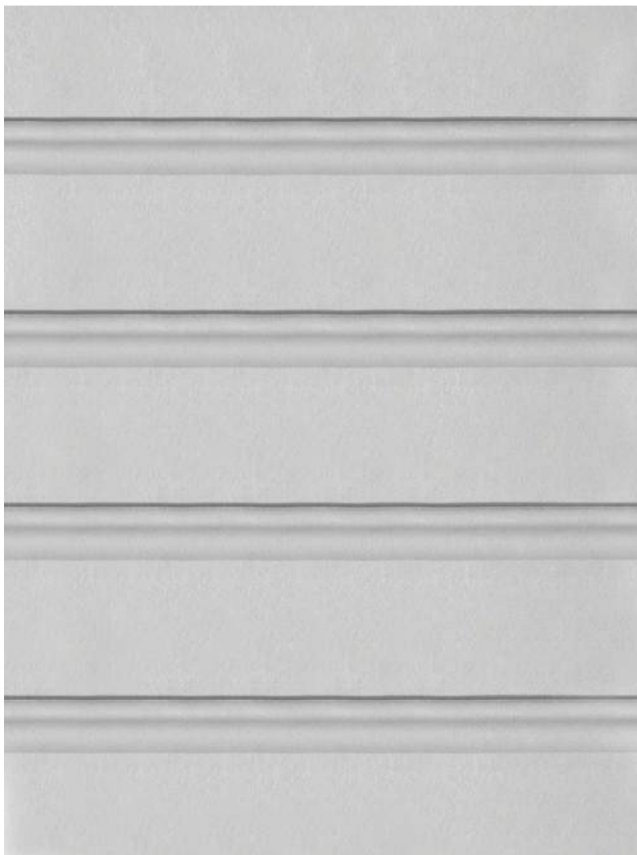
FASCIA AND TRIM
VIVID WHITE



WALLS SNOW SEASON



COLOURS AS PER EXISTING SHED
DA/2018/1858:1



CLADDING PRIMELINE "HERITAGE"



PROPOSED FRONT FENCE STYLE



COLOURS AND FINISHES

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